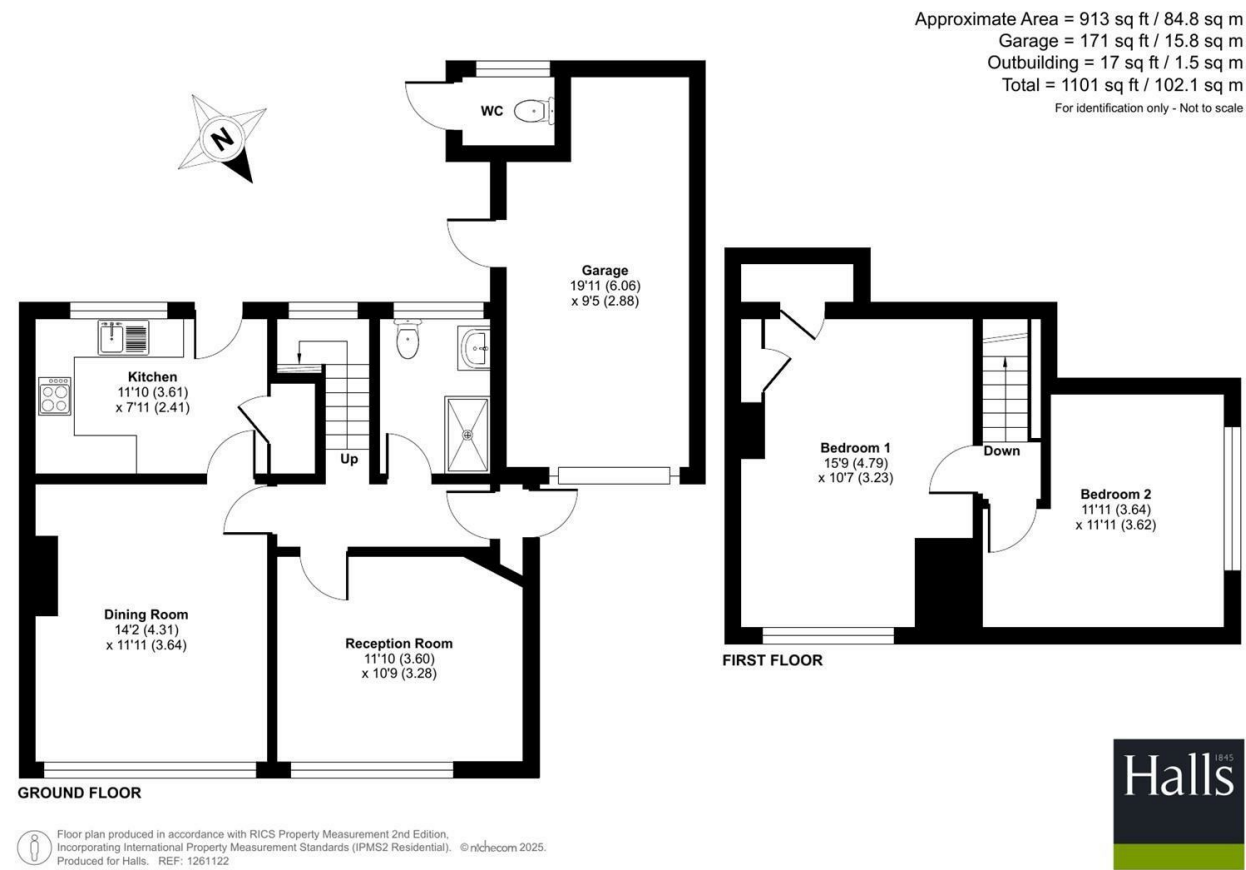


FOR SALE

2 Redgate Avenue, Tenbury Wells, WR15 8DL



FOR SALE

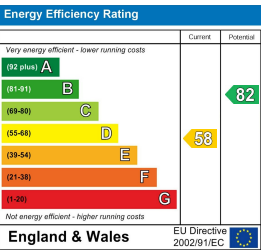
Price £239,500

2 Redgate Avenue, Tenbury Wells, WR15 8DL

Property to sell? We would be delighted to provide you with a free no obligation market assessment of your existing property. Please contact your local Halls office to make an appointment. **Mortgage/financial advice.** We are able to recommend a completely independent financial advisor,

who is authorised and regulated by the FCA. Details can be provided upon request. **Do you require a surveyor?** We are able to recommend a completely independent chartered surveyor. Details can be provided upon request.

Energy Performance Rating



A charming 3-bedroom dormer bungalow, ideally situated in this desirable area near Tenbury town centre. It features a low-maintenance private garden, garage, and off-road parking. The property would benefit from some minor cosmetic updates and is offered with no onward chain. An internal viewing is highly recommended.



01562 820880

Kidderminster Sales
137 Franche Road, Kidderminster, Worcestershire, DY11 5AP
E: kidderminster@hallsgb.com



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FOR SALE

Mileage (all distances approximate)

Worcester 23 miles, Birmingham 36 miles, Ludlow 10 miles, Bewdley 14 miles, Kidderminster

18 miles and Leominster 9 miles



1 Reception
Room/s



3 Bedroom/s



1 Bath/Shower
Room/s



- **A Semi-Detached Dormer Bungalow**
- **Popular & Convenient Location**
- **3 Bedrooms & Modern Fitted Shower Room**
- **Generous Living Room**
- **Modern Fitted Kitchen**
- **Low Maintenance Private Gardens**
- **Garage & Off Road Parking**
- **Vacant – No Chain – Viewing Essential**

INTRODUCTION

An attractive dormer bungalow, conveniently located in this sought after location close to Tenbury town centre. The property offers three bedrooms (two first floor) and a modern fitted kitchen and bathroom with a spacious living room and low maintenance private gardens with a garage and off road parking.

The property would benefit from some minor cosmetic improvements and is available with no onward chain. Internal Viewing Essential.

FULL DETAILS

The property is approached off Redgate Avenue over a tarmac driveway to the side entrance into the and entrance porch and main reception hall.

From the reception hall access can be gained into the living room, kitchen, modern shower room and ground floor bedroom. There is a turning staircase to the first floor accommodation.

There is a gas fire in the living room with a large UPVC double glazed window to the front aspect and access to the fitted kitchen.

The kitchen is recently fitted with a range of matching base and eye level units with roll top work surfaces, inset sink with single drainer with tiled surround. There is space for a cooker, plumbing for dishwasher/washing machine and a useful walk-in pantry, window to the rear garden and pedestrian access to the gardens.

The shower room is also recently fitted with a modern white suite comprising a large glazed walk-in shower with low level close coupled W.C and vanity wash hand basin, being extensively tiled.

The ground floor bedroom is a well proportioned double, alternatively it would make a nice office/study or second sitting room/dining room, with large double glazed window to the front aspect.

The first floor offers a small landing leading to two generous double bedrooms with double glazed windows, fitted storage cupboards and both with useful eaves storage space.

OUTSIDE

The tarmac driveway leads to the attached garage and past the attractive fore garden laid to lawn herbaceous borders and further shrubs and trees.

The rear garden is low maintenance and very private laid mainly to paved and gravel areas and with a rear veranda, all enclosed with wooden panel fencing. There is rear access into the garage and incorporating a 'gardeners W.C'.

The garage is a good size with up and over door, power and light and housing the wall mounted Worcester gas combination boiler.

SERVICES

Mains water, electricity, drainage and gas are understood to be connected. None of these services have been tested.

FIXTURES & FITTINGS

Only those items described in these sale particulars are included in the sale.

TENURE

Freehold with Vacant Possession upon Completion.

ANTI-MONEY LAUNDERING (AML) CHECKS

We are legally obligated to undertake anti-money laundering checks on all property purchasers. Whilst we are responsible for ensuring that these checks, and any ongoing monitoring, are conducted properly; the initial checks will be handled on our behalf by a specialist company, Movebutler, who will reach out to you once your offer has been accepted.

The charge for these checks is £30 (including VAT) per purchaser, which covers the necessary data collection and any manual checks or monitoring that may be required. This cost must be paid in advance, directly to Movebutler, before a memorandum of sale can be issued, and is non-refundable. We thank you for your cooperation.